



# Housing Acceleration Program Technical Assistance Phase II Kickoff

November 13, 2024

# Agenda



**Welcome and Introductions**



**Overview of HAP Technical Assistance Program**



**Existing and Planned Technical Assistance Resources**



**Overview of Local Staffing Assistance**



**Conclusion**

# HAP TA Project Team

## SANDAG

- Carrie Simmons, Regional Planner, Project Manager

## Ascent


- Christine Babla, Principal-in-Charge
- Matt Gelbman, Project Manager
- Chelsey Norton Payne, Housing Technical Lead
- Chad Beckstrom, CEQA Technical Lead

## Subconsultants

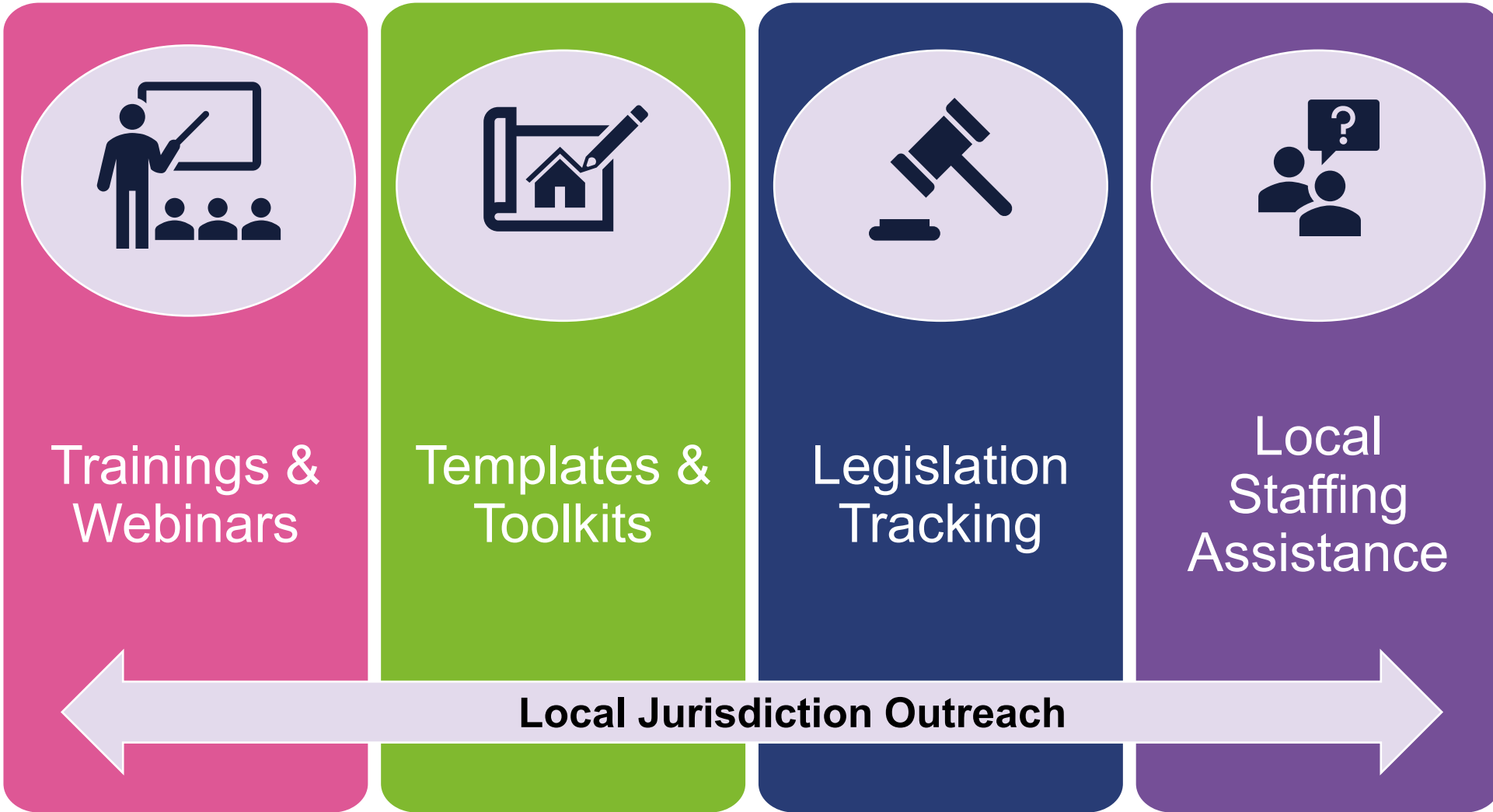
- Adam Pisarkiewicz, Civic Solutions
- Barbara Kautz, Goldfarb Lipman Attorneys
- Ian Dunn, OpenScope Studio

# Overview of HAP Technical Assistance Program

# Technical Assistance Objectives

- 
- Build upon prior efforts and previous technical assistance
  - Support REAP 2.0 Objectives
  - Facilitate regional collaboration around best practices & information sharing
  - Build capacity for local jurisdictions to implement their housing elements
  - Make technical assistance accessible, flexible, and responsive
  - Ensure equitable distribution of TA resources across member agencies

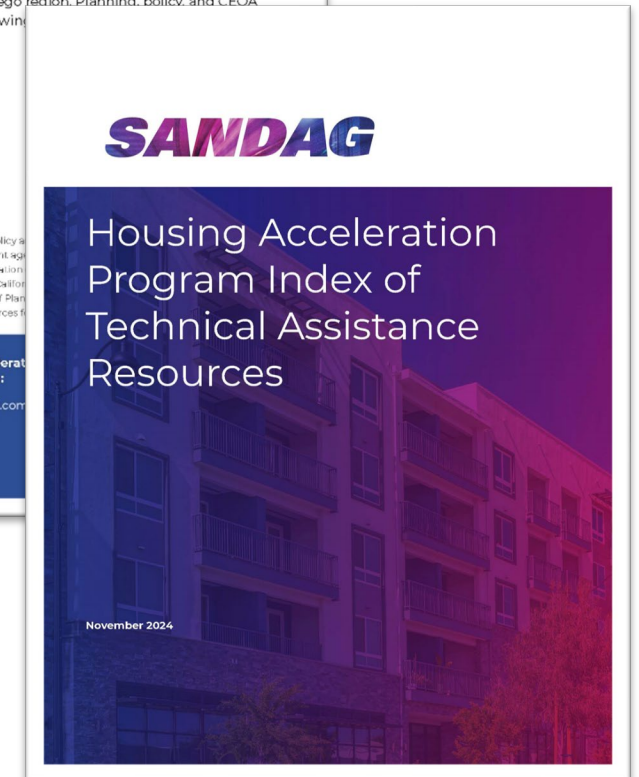
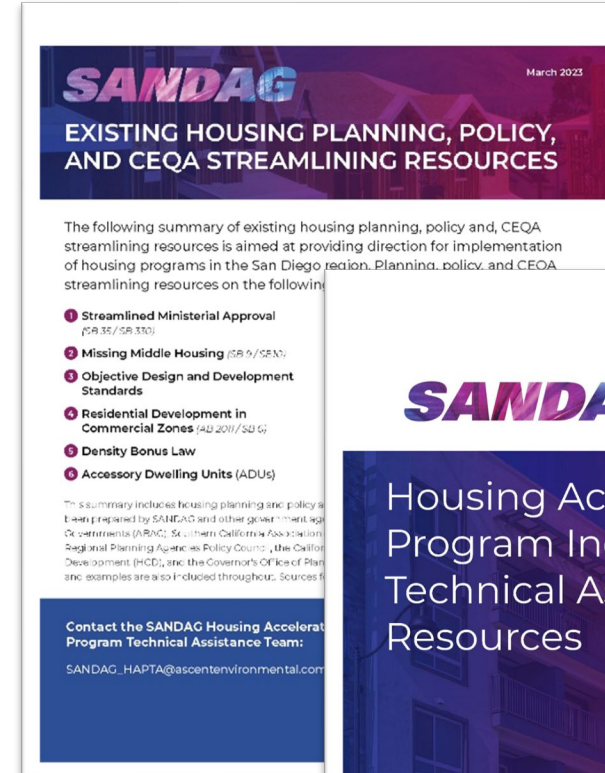
# Technical Assistance Program Activities



# Existing and Planned Technical Assistance Resources

# Existing Resources

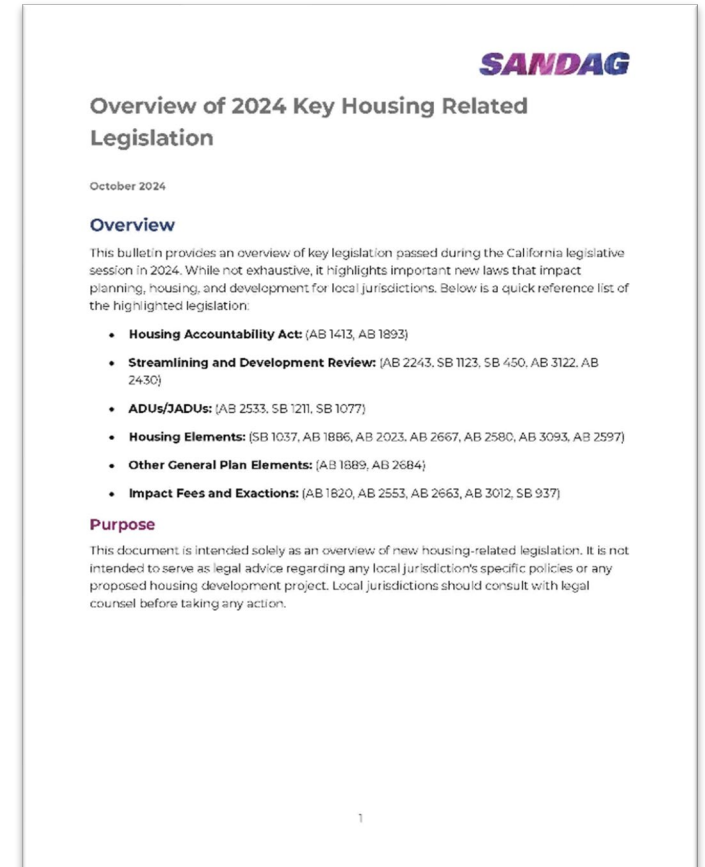
- Existing Housing Planning, Policy, and CEQA Streamlining Resources (March 2023)
- SANDAG TA Index (November 2024)





# Overview of 2024 Key Housing Related Legislation

- **Housing Accountability Act**  
AB 1413, AB 1893
- **Streamlining and Development Review**  
AB 2243, SB 1123, SB 450, AB 3122, AB 2430
- **ADUs/JADUs**  
AB 2533, SB 1211, SB 1077
- **Housing Elements**  
SB 1037, AB 1886, AB 2023, AB 2667, AB 2580, AB 3093, AB 2597
- **Other General Plan Elements**  
AB 1889, AB 2684
- **Impact Fees and Exactions**  
AB 1820, AB 2553, AB 2663, AB 3012, SB 937



# Future Technical Assistance

- Early 2025 - Annual Progress Report Webinar and TA
- Other Ideas:
  - Topical Working Groups / Study Clubs (e.g., objective design standards)
  - Regional Forums (e.g., fair housing, affordable housing)

Take the Survey to  
Share Your Ideas

Email

Housing@SANDAG.org

# Overview of Local Staffing Assistance

# New Laws

- SB 35 Checklist and Procedures
- SB 330
- Comparison of Housing Laws
- Legislation Tracking
- Ordinances and Resolutions
- Zoning code updates
- SB 1087 Model Ordinance
- AB 1397 By-Right Zoning Model Ordinance

**ORDINANCE NO. XXX**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH REPEALING SECTION 17.20.050 OF THE SOLANA BEACH MUNICIPAL CODE AND REPLACING WITH SECTION 17.20.050 REFERENCING STATE LAW TO COMPLY WITH THE STATE DENSITY BONUS LAW AND FINDING THE ACTION EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)**

**WHEREAS**, California's Density Bonus Law (Government Code Section 65915 et seq.) encourages developers to build affordable housing (e.g., very low-, low- and moderate-income units) by requiring cities to grant a density bonus, concessions, incentives, and waivers of developments standards for projects that commit certain percentages of their units to affordable housing; and

**WHEREAS**, California Government Code Section 65915(a) requires that local governments adopt an ordinance that specifies how compliance with State Density Bonus law will be implemented; and

**WHEREAS**, Section 17.20.050 of the Solana Beach Municipal Code contains regulations implementing the State Density Bonus Law; and

**WHEREAS**, Section 17.20.050 of the Solana Beach Municipal Code was last amended via Ordinance No. 392, adopted on January 14, 2009; and

**WHEREAS**, this ordinance ("Ordinance") repeals Solana Beach Municipal Code Section 17.20.050 and replaces the contents thereof to adopt the State Density Bonus Law by reference. As amended by this Ordinance, Section 17.20.050 will provide that density bonuses and other affordable housing incentives required by State Law, Government Code Section 65915 et seq., will be available to applicants on the terms and conditions specified in State law; and

**WHEREAS**, adopting the State Density Bonus Law by reference will ensure the Municipal Code remains current whenever the State Legislature amends the State Density Bonus Law; and

**WHEREAS**, on [date], the Planning Commission held a duly noticed public hearing to consider the proposed Ordinance related to density bonus, received the staff report and staff presentation, received comments from the public and interested parties, and discussed the matter. Following the public hearing, the Planning Commission adopted Resolution No. [Planning Commission Resolution #] recommending the City Council adopt the proposed Ordinance; and

**WHEREAS**, on [date], the City Council held a duly noticed public hearing to consider the proposed Ordinance related to density bonus, received the staff report and staff presentation, received comments from the public and interested parties and discussed the matter; and

**WHEREAS**, all legal prerequisites to the adoption of the Ordinance have occurred.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, DOES HEREBY ORDAIN AS FOLLOWS:**

SB 35 Process Overview and Eligibility Checklist

## Government Code Section 65913.4 (SB 35) Eligibility Checklist

The following checklist is intended as a guide to help applicants and local agencies determine if a project is eligible for streamlined processing under Government Code Section 65913.4. To be eligible, a project must meet **ALL** of the following criteria.

Complete the checklist and describe how the project complies with each of the eligibility requirements.

Eligibility Requirements	Comply	N/A
<b>1. Number and Type of Units.</b> The project must be a multifamily housing development that contains at least two residential units.  <i>Compliance Description (Optional):</i> Click or tap here to enter text.	<input type="checkbox"/>	<input type="checkbox"/>
<b>2. Legal Parcel.</b> It is a legal parcel or parcels located in a city/county if, and only if, the city/county boundaries include some portion of either an urbanized area or urban cluster, as designated by the United States Census Bureau.  <i>Compliance Description (Optional):</i> Click or tap here to enter text.	<input type="checkbox"/>	<input type="checkbox"/>
<b>3. Urban Infill.</b> At least 75 percent of the perimeter of the site adjoins parcels that are developed with urban uses. Parcels that are only separated by a street or highway shall be considered to be adjoined. "Urban uses" means any current or former residential, commercial, public institutional, transit or transportation passenger facility, or retail use, or any combination of those uses.  <i>Compliance Description (Optional):</i> Click or tap here to enter text.	<input type="checkbox"/>	<input type="checkbox"/>
<b>4. Residential Use.</b> At least two-thirds of the square footage of the development is designated for residential use. Additional density, floor area, and units, and any other concession, incentive, or waiver of development standards granted pursuant to the Density Bonus Law in Section 65915 shall be included in the square footage calculation. The square footage of the development shall not include underground space, such as basements or underground parking garages.  <i>Compliance Description (Optional):</i> Click or tap here to enter text.	<input type="checkbox"/>	<input type="checkbox"/>
<b>5. Zoning and General Plan Designation.</b> One of the following applies to the site: <ul style="list-style-type: none"> <li>• The site is zoned for residential use or residential mixed-use development.</li> <li>• The site has a general plan designation that allows residential use or a mix of residential and nonresidential uses.</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>

# Objective Design Standards

- Feasibility testing
- Peer review of standards
- Graphics, diagrams and illustrations

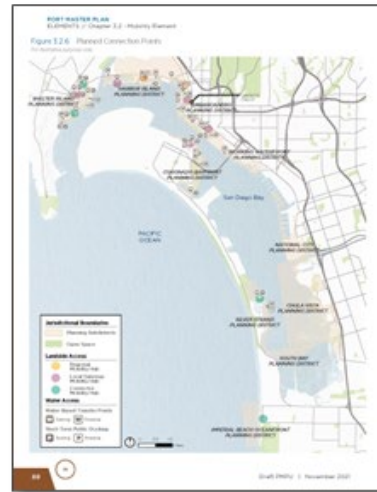
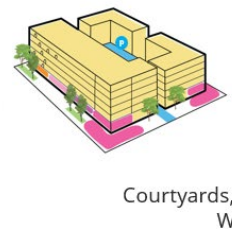
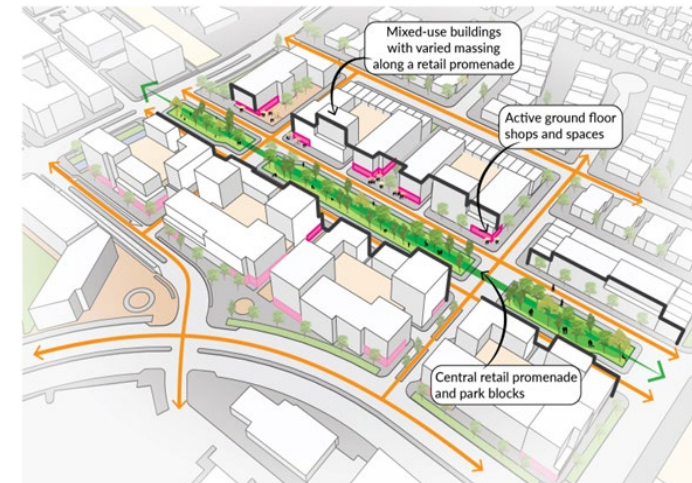
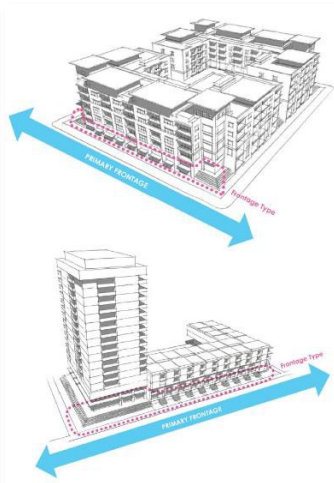
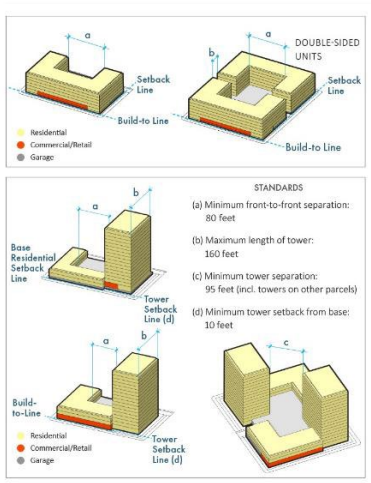


Table 4.1 Mobility Plan Accessibility Requirements and Amenities

	ACCESSIBILITY REQUIREMENTS										AMENITIES				
	Travel	Roadway	Walking	Biking	Micro-mobility	Parking	Customer Amenities	Micro-mobility	Information	Commercial	Art	Public Amenities	Public Amenities	Public Amenities	Public Amenities
REGIONAL															
LOCAL GOVERNMENT															
CONNECTOR															



# CEQA

- CEQA Trainings
  - Project Description and Mitigation Measures
  - Biological Resources
  - Cultural Resources
  - Air quality and Greenhouse Gases



## CEQA Thresholds of Significance

- What is considered a “significant” impact to biological resources under CEQA?
- Establishing significance thresholds
  - Appendix G checklist questions often used as a baseline
    - Thoughtful assessment of impacts needed
    - City will apply case-by-case thresholds to projects based on analysis (no City-defined CEQA thresholds)
- Mandatory Findings of Significance
  - Can also use these as a guide for ensuring biological resource info collected is sufficient



# ADU Handbooks

- County of San Diego – ADU handbook
- City of National City – ADU handbook and checklist

ADU Handbook

## Steps to Build

There are many steps involved when building an ADU. The following two pages details steps to take in four phases:

Pre-Application Phase

**Confirm Eligibility and Allowed Size of ADU**

- Determine the eligibility of your property and the maximum size ADU you can build. Refer to [Chapter 18.30.380](#) of the National City Municipal Code.
- Utilize ADU finance tools (see Resources section) to estimate your costs.
- Call or e-mail the Planning Division (see Contacts section) to discuss options as well as any zoning constraints or site-specific factors. This step will help to avoid surprises after investing time and money into a building design. The Planning Division may refer you additional City Departments to further discuss your proposal.
- If applicable, submit an application at the Sweetwater Authority. The submittal process takes approximately 6 weeks. Please see their "[Application Guide for Concurrent Review with Land Use Agency](#)" for more information.

Design Phase

**Design and Preparation**

- Decide if you will build a new ADU or convert an existing structure to an ADU. Refer to Resources section for guidance and examples.
- Consider your options for drafting plans such as hiring a designer or architect, drawing your own plans, purchasing plans, or purchasing a prefabricated unit.
- Consider your options for construction. You can hire a General Contractor to manage and complete the construction or obtain an owner/builder permit to allow you to manage and complete the project yourself or through sub-contractors. Note that your designer and/or contractor must obtain a National City Business License.

Once you select an ADU design option, you can get an estimate of City fees by looking up the [Development fees](#). You can also see the ADU Application Checklist for a list of submittal requirements.

Accessory Dwelling Unit Handbook

## Process Overview

There are many steps involved when building an ADU. The following section details steps to take in four phases:

### Pre-Application Phase

#### Confirm Eligibility and Allowed Size of ADU

Determine the eligibility of your property and the maximum size ADU you can build.


Refer to the [ADU Regulations handout](#) and [ADU webpage](#) for more information.

Retrieve your [Property Summary Report \(how-to guide here\)](#) which you will take to the County Permit Center to assist with the pre-application and pre-review phase of the permit application process.

Determine any septic system requirements and if your ADU will be feasible. You can read the [Frequently Asked Questions from the Department of Environmental Health and Quality](#).

Utilize ADU finance tools via Casita Coalition, California Housing Finance Agency, Maxable, and others (see Resources section) to estimate your costs including useful and free cost estimator tools.

Call or e-mail the County Planning & Development Services (see Contacts section) to discuss options as well as any constraints or site-specific factors (steep slopes, agricultural buffer setbacks, existing accessory structures, septic systems, etc.). This step will help to avoid surprises after investing time and money into a building design.



Source: Adobe Stock

### Design Phase

#### Design and Preparation

Decide if you will build a new ADU or convert an existing structure to an ADU. Refer to Resources section for guidance and examples.

Consider your options for drafting plans such as hiring a designer or architect, drawing your own plans, purchasing plans, or purchasing a prefabricated unit. In addition, you can adopt one of the free [Pre-Approved County Standard ADU Building Plans](#). By using Pre-Approved County Standard ADU Building plans, much of the design and permitting work is already completed, so there is less chance for delay or unexpected costs down the road.

# ADU Public Workshop

- City of Solana Beach – ADU public workshop





# Misc. Local Staffing Assistance

- Prohousing
- Safety and Environmental Justice Elements
- Rezone strategy
- Public information for affordable housing / housing laws



Assembly (AB) 2011

For commercial sites where the zoning allows for offices, retail, or parking, Assembly Bill (AB) 2011 (also known as the High Road Jobs Act of 2022) creates a CEQA-exempt, ministerial approval process for multi-family housing developments that are 100% residential or mixed-use.

**Program Requirements**

Applies to:

- Multi-family housing developments that are 100% residential or mixed-use
- Properties within the Coastal Zone

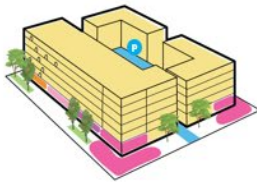
Requirements:

- Must include an affordability component
- For mixed-use developments, residential units must occupy at least two-thirds of the total square footage
- Must include prevailing wages for construction workers
  - Projects over 50 units must meet additional standards, including:
    - Apprenticeships
    - Health insurance

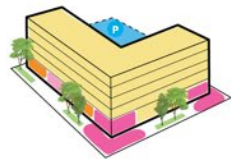
ive requirements  
red-income projects



Towers and High-Rises



Courtyards, Podiums, and Wraps



Narrow-lot Infill



Walk-ups



Stacked



Townhomes and Rowhomes

# Housing Element Implementation

- No net loss tracking
- APR preparation



## Start Here Tab

Please fill out all information

General Information	
Jurisdiction Name	
Reporting Calendar Year	2023
Contact Information	
First Name	
Last Name	
Title	
Email	
Phone	
Mailing Address	
Street Address	
City	
Zipcode	

Cells highlighted in yellow are required

### No Net Loss Calculator

The No Net Loss Calculator was developed to assist identify if there is surplus capacity in the Housing Element inventory or a deficit, which would indicate a no net loss issue.

#### Summary Tab



#### Purpose

This summary tab will identify if there is surplus capacity in the Housing Element inventory or a deficit, which would indicate a no net loss issue. This summary tab autopopulates based on the information entered in the other tabs.

#### Instructions

1. Enter the RHNA in Row 2. For tracking purposes, combine the very low- and low-income RHNA into the one "Lower" income category (Column B).
2. The remaining rows will autopopulate with information added into the other tabs.

**\*Tip:** To begin, enter the capacity numbers in the Sites Inventory tab, Planned Projects tab, and ADU tab exactly as it was in the Housing Element. Make sure that the total capacity and the surplus/deficit numbers in Rows 9 and 10 match those identified in the Housing Element. Troubleshoot if they don't match. Once they match, then you can start identifying development activity on these sites.

#### 1. Sites Inventory Tab



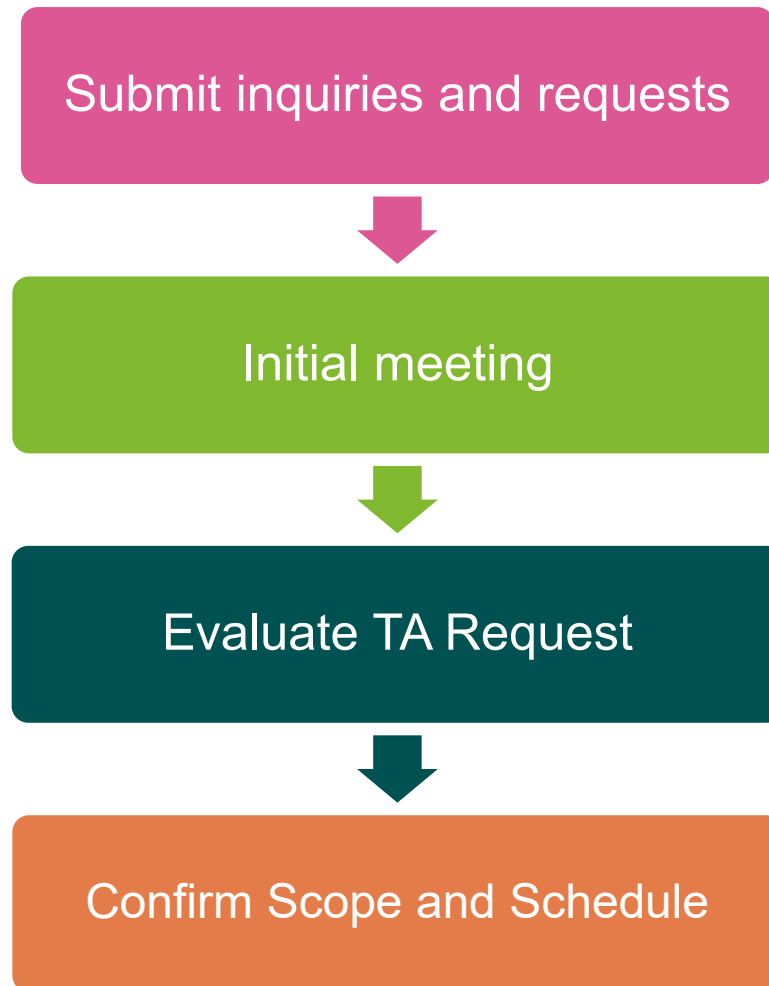
#### Purpose

This tab is used to track residential development activity on sites included in the Housing Element inventory.

#### Instructions

1. Add the list of vacant and underutilized parcels in the Housing Element sites inventory.
2. Enter the number of units counted in the Housing Element to columns B-D. Note: Column E (Total Capacity) will autopopulate. Make sure the numbers match those identified in the Housing Element and once input, do not edit columns B-E.
3. Set the Site Status (Column F) to "available" for sites that do not have an approved development.
4. As development projects are approved on Housing Element sites, enter the number of approved housing units in columns G-I (Column J will autopopulate).
5. Change the status to "Pending Project" for projects that are entitled but have not yet been built or "Completed Project" for projects that have been issued building permits.
6. The difference between the inventoried capacity and the approved number of units will autocalculate in Columns K-N, showing you the net loss or gain in unit capacity by income level.

# Local Staffing Assistance Request Process



**Submit Requests to:**

Housing@SANDAG.org

# Office Hours

- Schedule time to meet with the HAP TA team to discuss:
  - Local assistance
  - Ideas for regional technical assistance
  - Other questions and comments

## Week 1

- November 18<sup>th</sup> – November 22<sup>nd</sup>
- 11am-2pm

## Week 2

- December 2<sup>nd</sup> – December 6<sup>th</sup>
- 11am-2pm

# Sign Up for Email Updates

*Stay in the loop with upcoming events and new resources*


 <https://forms.office.com/g/AKNR2TzbfD>

**SANDAG**

# Connect with SANDAG's HAP TA Team

 Project website: [sandag.org/housing](https://sandag.org/housing)

 Local Staffing Assistance Requests  
Email: [Housing@SANDAG.org](mailto:Housing@SANDAG.org)

 Contact SANDAG  
Email: [carrie.simmons@sandag.org](mailto:carrie.simmons@sandag.org)  
Phone: (619) 837-6503

**SANDAG**