



Objective Design Standards Workshop

Housing Acceleration Program – Technical Assistance
October 17, 2023

Agenda



Welcome and Introductions



Overview of Objective Design Standards



Case Study: City of Carlsbad



Developing Objective Design Standards



Discussion and Wrap Up



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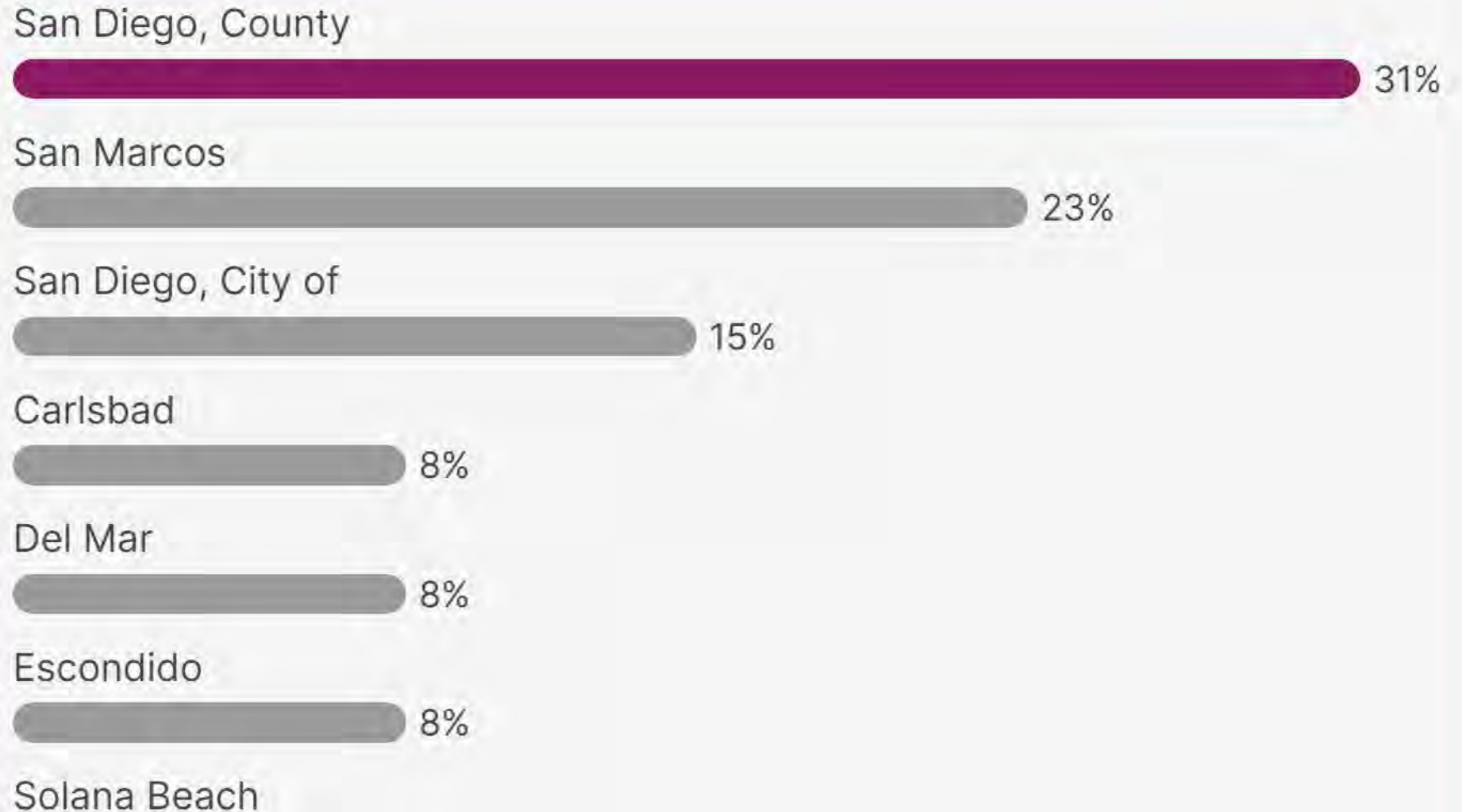




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What jurisdiction are you from?





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What do you want to know about Objective Design Standards?

Fire mitigation exception

How ODS impacts Affordabl

Implementation Everything

Measuring effectiveness

Lg jurisdiction = how

How to address mixed use?

Good examples

Affordability impacts

Understanding Objectivity

Legal Framework and Judicial Interpretation
for Objective Design Standards

What are objective design standards?

Objective design standards means a design standard that involves no personal or subjective judgement by a public official and is uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official before submittal of an application.
- *California Government Code Section 66300*

What are Objective Design Standards?

- Broad set of standards used by an agency to regulate development:

Zoning

Design Review

Subdivision

- May include portions of general plans, specific plans, zoning codes, overlay zones, subdivision, landscaping, and other land development regulations.
- Only basis a local agency may use to deny or reduce the density of certain eligible projects.
- Intended to make requirements more predictable and easier to interpret.

Legal Framework for Objective Design Standards

- Applies to housing development project approval and denial.
- **Housing Accountability Act:** a city cannot deny or reduce density of a project that complies with object standards, except in very narrow circumstances.
- Density Bonus Law, waivers and concessions (e.g., active frontage requirements).
- Changes to roles of the design review board and hearings.
- Can be adopted through an ordinance or resolution.

CEQA: *McCorkle v. City St. Helena*

- City zoning code limited City's authority to design issues, such as scale, orientation, bulk, mass, materials, and colors, without authority to mitigate environmental effects and project required no conditional use permits, constraining City's authority to deny the permit on the basis of environmental concerns.
- Projects involving both discretionary and non-discretionary actions may be deemed discretionary and subject to CEQA, the discretionary aspect of the decision must consider a project's environmental consequences.
- Design review elements are not considered environmental.

CARLA v. City of San Mateo

Key court case findings:

- 2021 CaRLA v City of San Mateo: First major court case interpreting meaning of “objective” provision of HAA (§ 65589.5, subd. (f)(4)) .
- Beyond substantial evidence to reasonable person standard, means that the City bears the burden of proof that decision conforms to HAA.
- Standard cannot be “objective” if reasonable people can reach different conclusions about compliance. (Note: does not defer to City to determine this.)

CARLA v. City of San Mateo

- What Is NOT an “Objective Standard”?
- “If height varies by more than one story between buildings, a transition or step in height is necessary.”



CARLA v. City of San Mateo

Why is this Standard **NOT** Objective:

- Could be a “*transition*” of trees and a trellis instead of a setback.
- Not clear how far upper floors must step back.
- Not clear how far along building the step back must run.
- Not clear how many floors must step back.
- Not clear how much of a step back is sufficient.

CARLA v. City of San Mateo

The “Reasonable Person Standard”:

- Staff and consultant concluded that the project conformed to the standard, whereas Planning Commission and City Council found it did not.
- Both interpretations are “reasonable” which the court construed as proof that it is not objective.
- Under “reasonable person standard” either interpretation works, so it must be approved.
- Burden of proof on city.

Best Practice Techniques

Six Best Practices

1. Use simple, clear language.
2. Use different methods for structuring standards.
3. Group similar topics together.
4. Avoid long narratives, instead using bullets, tables, and lists.
5. Use annotated graphics, diagrams, or photos to illustrate application.
6. Test and refine your standards.

1. Use Simple, Clear Language

Avoid “design speak”, planner jargon, or terms of art.

Examples:

- *Respond to adjacent residential uses with a sensitive transition in scale and massing.*
- *Design building to fit with context of their surroundings.*
- *Use street trees to delineate a public street.*

1. Suggestions vs. Requirements

Design Guidelines	Design Standards
<i>Subjective</i>	<i>Objective</i>
Recommendations may not be enforceable, and do not have the “teeth” of regulations.	Requirements, enforceable as regulations.
Open to interpretation, may be difficult to measure of verify.	Measurable, and verifiable.
Uses words such as “should” or “may”.	Uses language such as “shall”, “must” or “required to”.

1. Suggestions vs. Requirements Examples

Design Guidelines	Design Standards
<i>Subjective</i>	<i>Objective</i>
Provide articulation to reduce the apparent mass and scale of the building, and to be sensitive to the neighborhood.	For every 100 feet of building length , there shall be a plane-break along the façade comprised of an offset of at least five feet in depth , by 25 feet in length . The offset shall extend from grade to the highest story.
Rooftop mechanical equipment should be screened from public view by a parapet wall, decorative equipment screen, or other architectural treatment.	Rooftop mechanical equipment shall be screened from public view by a parapet wall, decorative equipment screen, or other architectural treatment.
Provide ample width and design for universal access along pathways and walks.	The paved section of sidewalks shall be at least eight feet in width .

2. Use Different Methods for Structuring Standards

- Objective Design Standards don't require everything to be quantifiable and numeric.
- Create objectivity without rigidity.
- Mix and match to create a balance of predictability and flexibility:
 - **True/false statements**
 - **Counts and Measurements**
 - **Ratios and Calculations**
 - **Lists**
 - **Scorecards**
 - **Benchmarks & Performance Measures**

2. Use Different Methods for Structuring Standards

True/False

- Use when criteria can't be measured or counted.

Example

Street-facing building facades shall include building entrances that front the street.

Automobile and pedestrian access points shall not be gated or otherwise closed off to the public.

Ratios, Counts, and Measurements

- Use when there is a minimum value, maximum value, percent, or range.

Example

Any development that includes 10 or more units shall provide a minimum of 10% of the total number of units as three-bedroom dwelling units.

2. Use Different Methods for Structuring Standards

Lists

- Use when flexibility is desired.
- Can be helpful for design element where detail is desired, but there are a pre-determined range of acceptable solutions, materials, components, etc.

Example

Any of the following...

At least one of the following...

No more than three of the following...

All primary entryways shall incorporate at least four of the following elements:

- | | |
|-----------------------------------|-----------------------------------|
| <input type="checkbox"/> Option 1 | <input type="checkbox"/> Option 5 |
| <input type="checkbox"/> Option 2 | <input type="checkbox"/> Option 6 |
| <input type="checkbox"/> Option 3 | <input type="checkbox"/> Option 7 |
| <input type="checkbox"/> Option 4 | |

2. Use Different Methods for Structuring Standards

Scorecards

- Can be helpful for landscape design.
- Consider where there is a minimum compliance, and additional “bonuses” available for going above and beyond.

The required landscape area must provide the types of plants necessary to achieve a total of at least 35 points per square foot of landscape area according to the table shown at right.

Plan Type	Plant Container Size	Points
Shrub	1-gallon container	1.0
	5-gallon container	2.0
	15-gallon container or larger	10.0
Tree	5-gallon container	5.0
	15-gallon container	10.0
	24-inch box	20.0
	36-inch box	50.0
	48-inch box or larger	100.0

3. Group Similar Topics Together

Group similar topics together under “topical headers.”

Limit to 4-6 items under each header.

Have more to say? Add another header, subheader, bullets... or revise and simplify.

Organize starting w/ big picture, then go into detail.

Limit each standard to one topic or idea.

If you need to elaborate, use bullets and numbering to simplify and aid in verification.

Examples of Standards Grouped under Topical Headers

Residential Frontages

1. Multifamily building frontages shall include a terrace or porch.
2. Terraces or porches shall measure at least 6 feet in depth and 8 feet in width.
3. Terraces or porches shall be raised up 2–3 feet from the adjacent grade.
4. Fences or walls defining and/or retaining the front yard shall not exceed 3 feet in height from the adjacent sidewalk.

Parking

1. Parking lots shall include shade elements, such as trees, vine-covered trellises, and overhead solar panels.
 - a. Parking lots shall be located at the rear or interior of the block and shall not be located between the sidewalk and the building frontage fronting the street.
 - b. Access to parking lots or structures shall be located along side streets or alleys.
2. Parking lots shall include shade elements, such as trees, vine-covered trellises, and overhead solar panels.

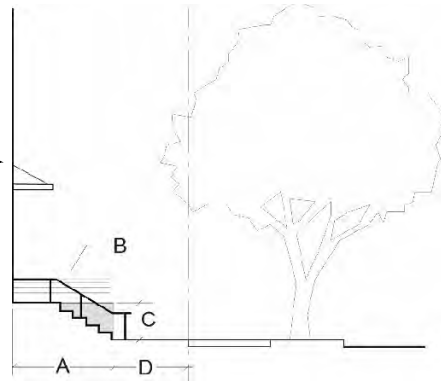
4. Avoid Long Narratives

Example of Complex Standards Organized as a List

Consider integrating graphics into tables like in FBCs, or pair photos and graphics to clarify intent.

Intro statement clarifies intent w/ word “shall”.
Narrative is brief.

List of criteria is concise and numeric, and tied to graphic.
It is clear these are “requirements”.



Standards for Porches and Terraces

The main frontage of a multifamily residential building shall have an elevated porch or terrace. This frontage type creates a neighborhood character and street-facing orientation while providing a buffer from the sidewalk and space for landscaping. The depth of the porch or terrace will allow for a usable outdoor open space large enough to accommodate seating for at least two people.

Requirements:

- A. Depth: 6-foot minimum
- B. Area of Porch or Terrace: 48-square-foot minimum
- C. Finished Level above Sidewalk: 3 foot maximum
- D. Garden Wall Setback from Right-of-Way: 5-foot minimum

4. Avoid Long Narratives

Regulating open space and amenities w/o long narratives (ex. 1)

Clear headers help with wayfinding.

Purpose statement, but avoid lengthy intros.

Clear numeric requirements.

Flexibility is provided w/ a list of appropriate solutions.

Approaches and Considerations for Objective Design Standards 13

EXAMPLE #3

Design of Private Open Space

Purpose
Courtyards, roof terraces, and other common areas within individual residential developments provide needed amenities to improve livability and public health.

Example Objective Design Standards

Sizing and Scale

1. Common open space shall be provided for all residential development, consistent with the following requirements:
 - a. At least 15% of the total gross development area shall be common open space.
 - b. Setback areas shall not be used to satisfy common open space requirements.
2. Private open space shall be provided for all residential projects, consistent with the following requirements:
 - a. 80 square feet for ground-floor units in the form of a covered or uncovered patio;
 - b. 40 square feet for upper-story multifamily units in the form of a terrace, balcony, or rooftop patio; and
 - c. 120 square feet for stand-alone, multistory residential units.
3. Common open spaces, such as courtyards and gardens, shall have a minimum dimension of 40 feet in any direction, building face to building face.

Character

1. A minimum of 50% of the open space area shall be landscaped with live plant material.
2. Open spaces shall be planted with a minimum of two trees, each of which shall have a minimum container size of a 36-inch box at installation.
3. A minimum of three of the following activating features shall be incorporated into open spaces:
 - a. Fixed or movable seating
 - b. Picnic style tables
 - c. Shade trees or shaded canopy
 - d. Outdoor kitchen equipment
 - e. Children's play equipment
 - f. Public art or interactive art, such as a life-size chess game
 - g. Water feature (in conformance with sustainability standards)



DO: Design common open spaces with a minimum dimension of 40 feet in any direction.



DO: Design common open spaces with live plant materials and shade trees.



DO: Design common open spaces with active components, such as play equipment.

TECHNICAL ASSISTANCE TOOLS | SB 2 PLANNING GRANTS PROGRAM 

Real-world photos coordinated with criteria.
Can include some "don't's" but use sparingly.

4. Avoid Long Narratives

Regulating open space and amenities w/o long narratives (ex. 2)

Open space provision in a table of numeric requirements.

List of standards within the table provide more detailed numeric criteria.

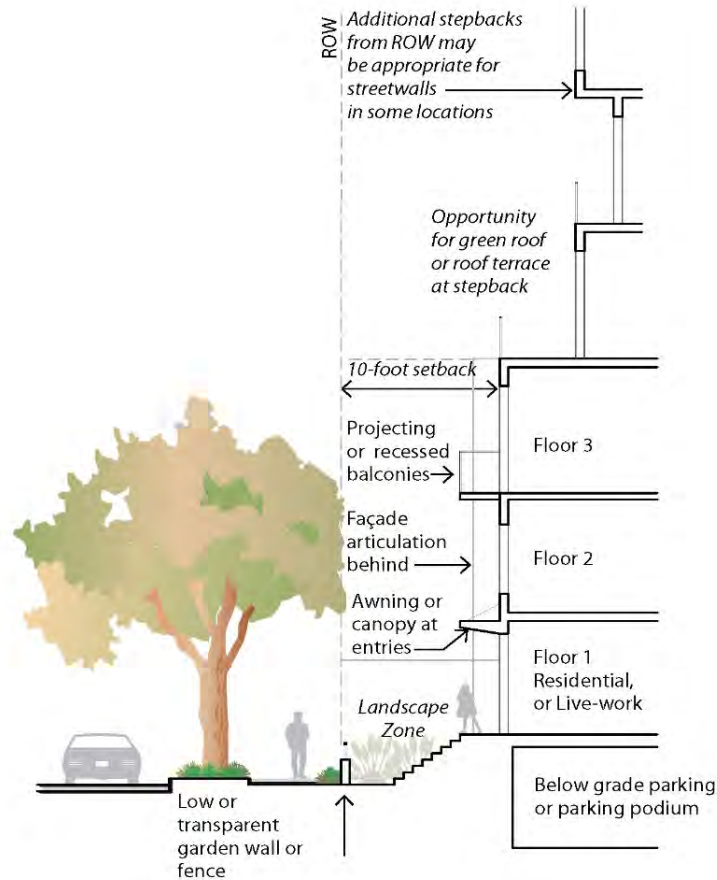
TABLE 3-10 OPEN SPACE STANDARDS

Type of Open Space	Requirements			Notes
Common Outdoor Open Space – as a percentage of the lot area	Lot Size	% Common Outdoor Open Space		<ol style="list-style-type: none"> Each project shall provide common outdoor space at grade, podium, or roof level. Public open spaces directly accessible and visible from the public right-of-way are encouraged. Minimum area for common outdoor open space is 1,000 sf for projects of 21 or more new residential units and 500 sf for all other projects. Minimum dimensions of at least one portion of the open space shall measure 40 feet x 12 feet or greater. All common outdoor open space areas shall be well designed. Common open space may include rooftop decks, court game areas, tot lots, swimming pools, landscaped areas, community gardens, and courtyards. At least 10% of the open space area shall be planting.
		Projects with 21+ residential units	All other development projects	
	≤10,000 sf	10	Exempt	
	10,001 - 30,000 sf	15	5	
	>30,000 sf	20	10	
Additional Standards for Projects of 21 or More New Residential Units ⁽¹⁾				
Common Indoor Open Space	Each project shall provide at least one community room of at least 500 sf.			<ol style="list-style-type: none"> The area shall be located adjacent to, and accessible from the common outdoor open space. Area may contain active or passive recreational facilities, meeting space, exercise rooms, computer terminals or other activity space but must be accessible through a common corridor.
Private Open Space	At least 50% of all residential dwelling units shall provide private open space on a balcony, patio, or roof terrace.			<ol style="list-style-type: none"> Minimum area of private open space is 36 sf with a minimum width of 6 feet.

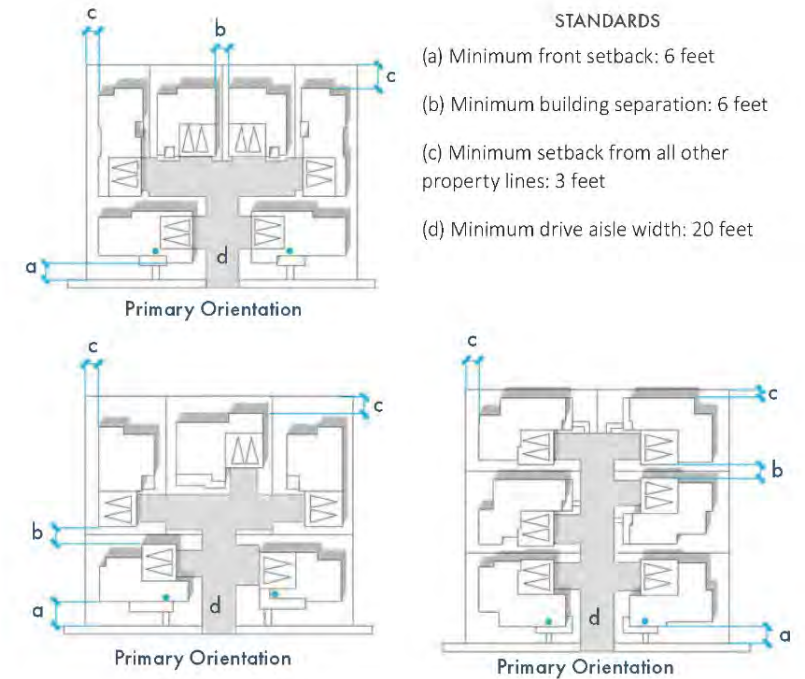
(1) Refer also to Tower Spacing requirements in Section 4, Standards by Building Types - Towers

5. Use Annotated Graphics

- Graphics, photos, axonometric drawings, sections, maps, and concept plan diagrams may be used **to illustrate application** of the standards.
- Annotations and callouts should further clarify the **relationship between** the standards and the graphics.



Example graphic illustrating front yard setback and building articulation standards.



Example graphic illustrating acceptable forms of single-family cluster development.

5. Use Annotated Graphics

- Graphics, photos, axonometric drawings, sections, maps, and concept plan diagrams may be used to illustrate application of the standards.
- Annotations and callouts should be used to further clarify the relationship between the standards and the graphics.



6. Test and Refine Your Standards

- Test your standards against built projects considered desirable for your community. Do they comply?
- Consider application “on the ground” on different parcels to ensure standards meet the intent are feasible.
- Talk w/ your development community and have different reviewers assess.
- Don’t be afraid to refine, during the process, and with subsequent amendments.



Townhomes, Stacked Townhomes, and Townhomes w/ ADUs



Mixed-Use Multifamily with Common Open Space



Mixed-Use Multifamily with Entry Court

Objective or Not: You Decide!

Discussion and Activity



The site layout, orientation and location of structures, buildings and signs shall be designed to create a well-integrated relationship to one another.

Very Subjective



Somewhat Subjective



Somewhat Objective



Neutral/Unsure



Very Objective



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Buildings should be compatible with the scale of the neighborhood. If height varies by more than 1 story between buildings, a transition or step in height is necessary.

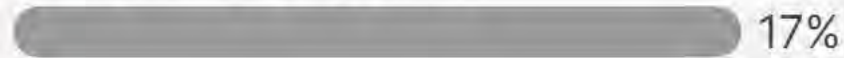
Somewhat Subjective



Very Subjective



Somewhat Objective



Very Objective



Neutral/Unsure



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The following required elements shall be included as part of the form and massing of buildings: Symmetrical organization of compositional elements; Porches and balconies; Prominent roof form; Windows and doors that emphasize vertical orientation.

Somewhat Objective



Very Subjective



Somewhat Subjective



Neutral/Unsure



Very Objective



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Walls visible from a public right-of-way shall not run in a continuous horizontal plane for more than 40 feet without incorporating articulating features such as clearly defined projecting or recessed architectural elements.

Somewhat Objective



Very Objective



Somewhat Subjective



Very Subjective



Neutral/Unsure



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Except for pocket parks and multi-use paths and trails, common recreational spaces shall be continuous space with no less than 15 feet in any given direction.

Very Objective



Somewhat Subjective



Somewhat Objective



Very Subjective



Neutral/Unsure



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The background of the slide is a dark blue, semi-transparent aerial map of San Diego. The map shows the city's layout, including major roads, the San Diego Bay, and the surrounding terrain. The text "Discussion and Questions" is overlaid in the center in a large, white, sans-serif font.

Discussion and Questions

The background of the slide is a semi-transparent aerial photograph of the Carlsbad region. It shows a mix of urban development, including roads and buildings, and natural terrain with hills and valleys. A large body of water, likely a reservoir or bay, is visible on the left side of the image. The overall color palette is dominated by blues and greys, consistent with the slide's theme.

Local Spotlight: City of Carlsbad

Implementation Options

Implementation Options

1 Rely on Existing Regulations

Such as:

- Minimum lot size
- Building height
- Setbacks
- Floor area ratio
- Other standards that define a maximum building envelope

2 Revise Existing Design Guidelines

Strategic updates to:

- Remove or rephrase subjective language
- Incorporate objective requirements
- Revise administrative intents, i.e., make requirements instead of recommendations
- Adopt as regulations

Note: not just a find and replace.

3 Expand Existing Regulations

Expand regulations:

- W/ new objective design standards
- Codify informal requirements

HCD Feedback and other Lessons Learned

1. Focus on what matters.

- Keep it simple and concise.
- Avoid restricting or regulating things that are overly nuanced, overly stylized, or won't make a big difference. ...Unless you have a very specific (historical) reason for doing so.

2. Regardless of nuance in legislation, avoid design “guidelines” in projects.

- Make all design criteria objective.
- If you must add design guidelines, they are not enforceable, so separate them out and label as such.
- Use guidelines sparingly.

Define your “Community Character”

- Provide outreach opportunities to community members through a process that can:
 - Inform, Listen and Understand
 - Define and Measure Community Character
 - Shape and Refine Objective Design Standards
- Community Survey Topics
 - Are there areas where height transitions are important?
 - What kind of architectural features and styles are important?
 - How should building frontages be designed?
 - What kind of open spaces would you like to see?

Priorities

What are your priorities?

- Minimizing bulk.
- Transitions between “dense” mixed-use areas and existing lower-scale residential neighborhoods.
- High-quality development.
- Façade articulation.
- Active Main Street environment and vibrant public realm.
- Walkability and pedestrian-friendly.
- Private open spaces, courtyards, or public plazas.
- Flexibility for design innovation.

What do you want to avoid?

- Bulky, boxy, unarticulated buildings.
- Incompatibility.
- Lack of human/pedestrian scale.
- Blank walls and dead spaces.
- Lack of connectivity and walkability.
- No or sub-optimal open spaces.
- Ugly.

Develop the Standards

- Using the input gathered from community outreach, decide which topics are most important to address.
- Goals such as:
 - Establish standards for transitions between residential uses (old & new)
 - Allow for flexibility and richness in design, allow multiple solutions
 - Revised administrative section so intent is clear
 - Stronger standards for enhancing the public realm
 - Ensure goals are feasible with application of standards

City of San Diego Grantville CPIOZ

Multi-Modal Connectivity

All improvements identified below shall be required for all new development except as identified in §142.0611 (Exemptions from Requirement to Provide Public Improvements Incidental to a Building Permit). The Pedestrian Design section of the City of San Diego Street Design Manual should be integrated into the site planning and design of new developments. The separate zones of the pedestrian sidewalk zones are defined in the City of San Diego Street Design Manual.

SDR 4. All new development shall provide a minimum of one vehicular access way through the project site. The layout of a private street or private drive should be in a grid pattern or modified grid pattern, emphasizing interconnected streets and the ability to reach local destinations through multiple routes. It is desirable to have streets with block faces of 400 feet in length or less. Private streets or private drives shall be coordinated and connected to the public street system. Fencing, walls, or gates that limit access are prohibited. Where possible, streets shall frame vistas of the mixed-use core, Grantville Trolley Station, San Diego River, and Alvarado Creek.

SDR 5. All new development shall provide a minimum of one pedestrian and bicycle access-way through the project site. Pedestrian and bicycle access-ways shall be coordinated and connected to public streets. Fencing, walls, and gates that limit access are prohibited. Sidewalks shall be separated from the street by landscaped parkways and shall be provided as follows:

- Provide a minimum 5-foot landscaped parkway and minimum 5-foot non-contiguous sidewalk on at least one side of any private drive.
- Provide a minimum 5-foot landscaped parkway and minimum 10-foot non-contiguous sidewalk along any public or private street. See Figure 11.

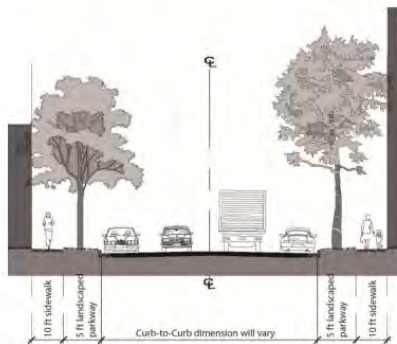


FIGURE 11: LANDSCAPE PARKWAY AND SIDEWALK REQUIREMENT



- Block length, curb cuts, connections
- Minimum sidewalk and parkway requirements
- Ground-floor design
- Building articulation

Sunnyvale Citywide ODS

Site Design Standards		
Standard	Building Type	
	Multifamily Residential (Low-, Mid- and High-Rise)	Mixed-Use Commercial (Vertical and Horizontal)
Street Frontage and Building Orientation		
INTENT: To ensure that new development promotes a pedestrian-friendly environment, responds to surrounding residential design, is welcoming to visitors and increases commercial activity.		
Orientation and Access (See Figures 2-1 through 2-4)	Buildings shall: <ul style="list-style-type: none"> Face the primary street. Include at least one entry that fronts the primary street and is directly accessible to pedestrians from the primary street. 	
	Buildings on corner lots shall: <ul style="list-style-type: none"> Include at least one entry and direct pedestrian access from both street frontages. 	
Location of Parking	Exception 1: Multifamily Residential entries may front a courtyard that is directly accessible from a primary street via a private pedestrian path.	
	Exception 2: Interior buildings of multi-building residential developments (beyond building(s) closest to the public street), may include off-street/interior access.	
	Exception 3: Interior buildings of horizontal mixed-use developments (beyond building(s) closest to the public street), may provide off-street/interior access.	
	Buildings shall provide a minimum 4' wide pedestrian pathway from sidewalk to building entry (see Figure 2-5).	Buildings shall provide a minimum 6' wide pedestrian pathway from sidewalk to building entry (see Figure 2-6).
	<ul style="list-style-type: none"> Parking, other than accessible or underground parking spaces, is prohibited in front setback. Parking within 100' of the public right-of-way shall be located behind or inside buildings or in an underground parking facility. 	
	Exception: For buildings along the intersection of two streets, one single-loaded row of surface vehicle parking with a drive aisle is allowed between building frontage and secondary street. Requires a minimum 7'-wide landscaped frontage strip (measured from the inside edge of the public sidewalk) that may be crossed by private pedestrian paths and access drives.	
Frontage and Floors (see Figures 2-5 and 2-6)		
Required Building Frontage at Minimum Front Yard Setback	65 - 85 percent building width	
Maximum Building Setback from the Minimum Front Yard Setback	10'; to be landscaped or design as entry court Exception: Does not apply to interior buildings of multifamily residential projects with multiple buildings or horizontal mixed-use projects.	
Ground Floor Finish Level	0' - 5' Exception: Subject to Cal. Code Regs., Title 24 and site-specific conditions	0' at entries Exception: Subject to Cal. Code Regs., Title 24 and site-specific conditions
Minimum Ground Floor Plate Height	14'	18'

6. Open Space Design

6.1 Purpose and Goals

The following design standards reflect Sunnyvale's desire for housing development projects that prioritize attractive common and private open spaces. Diverse open spaces in housing development projects will promote public health and safety without creating noise or visual impacts. These standards were created to facilitate easily accessible common open spaces, supported by functional private open spaces that increase the quality of life for residents.

6.2 Common Open Space

Intent: To ensure that new housing development projects provide attractive, accessible open spaces for all projects residents and visitors. Common open spaces should be developed as singular facilities with internal and external connectivity, rather than isolated pockets of space.

6.2.1 Exterior Common Open Space

6.2.1.1 Internal Accessibility

Housing development projects shall be designed with common open spaces designed per the following standards (see Figure 6-1):

- Common open spaces shall be directly accessible from all residential buildings, either via entryways from buildings adjacent to the open space or pedestrian pathways connecting other buildings to the open space.
- Common open spaces shall be directly accessible from all internal pedestrian pathways and bikeways.

6.2.1.2 External Accessibility

Common open spaces shall be made accessible from external public rights-of-way surrounding the project site by a pedestrian pathway designed per the following standards (see Figure 6-2):

- The pedestrian pathway linking external public rights-of-way and common open spaces shall be at least four feet wide.
- The pedestrian pathway linking external public rights-of-way and common open spaces shall incorporate a combination of design approaches from the table below to score at least 120 points.



Figure 6-1 Internally accessible open space.

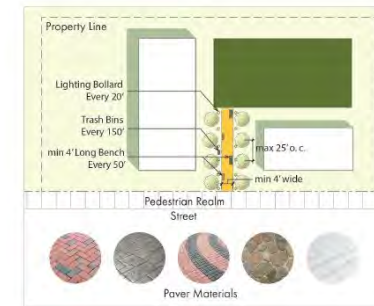


Figure 6-2 Externally accessible open space and pathway design.

6.2.2 Courtyard Common Open Space

If common open space in the form of a courtyard is provided, the following standards shall apply:

6.2.2.1 Percent of Useable Open Space

Courtyard common open space may count towards meeting up to 75 percent of the total useable open space requirement.

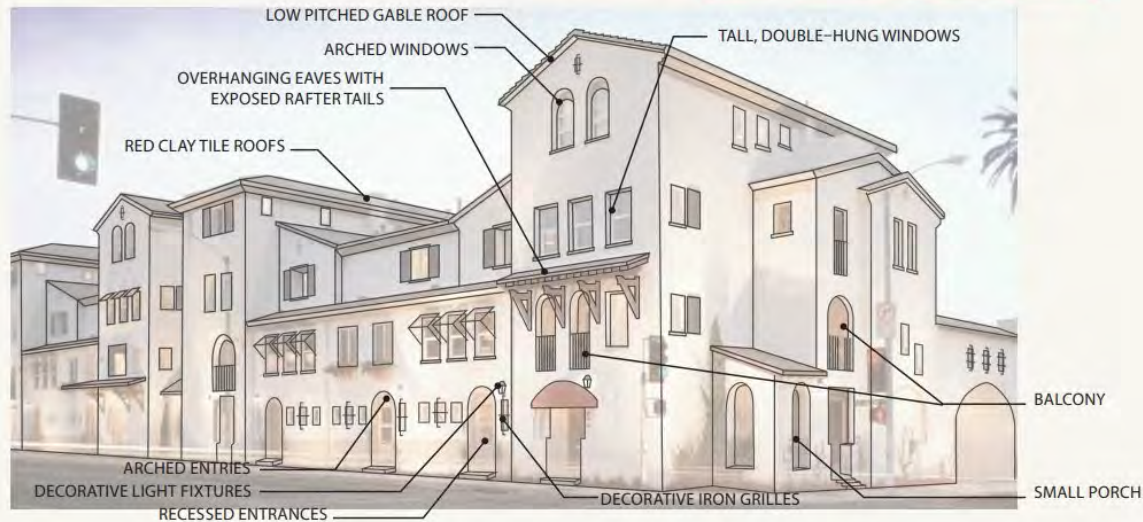
Characteristic	Approach	Points
Expanded width of Required Pedestrian Pathway/Walkway	At least six feet wide	20
Paver Materials installed on the full extent of pedestrian pathway/walkway	Stamped or colored concrete paving	20
	Brick or natural stone	30
Landscaping and Furniture Adjacent to Pedestrian Pathway/Walkway	Concrete pavement and concrete unit paver bands at least eight inches in width mortared in place every 10 feet.	10
	Line pathway with small to medium sized deciduous trees at least every 25 feet on center.	40
	Include one permanent bench or seating element, a minimum of four feet in length, every 50 feet	30
	Include one permanent landscape planter with integrated seating, a minimum of four feet in width, every 50 feet	40
	Include one lighting bollard every 20 feet at a minimum average of 1 footcandle	20
	Include a drinking fountain along the pedestrian pathway/walkway or within the common open space area	10
	Include permanent trash bins, recycling bins and pet waste receptacles every 150 feet	30

Temecula ODS

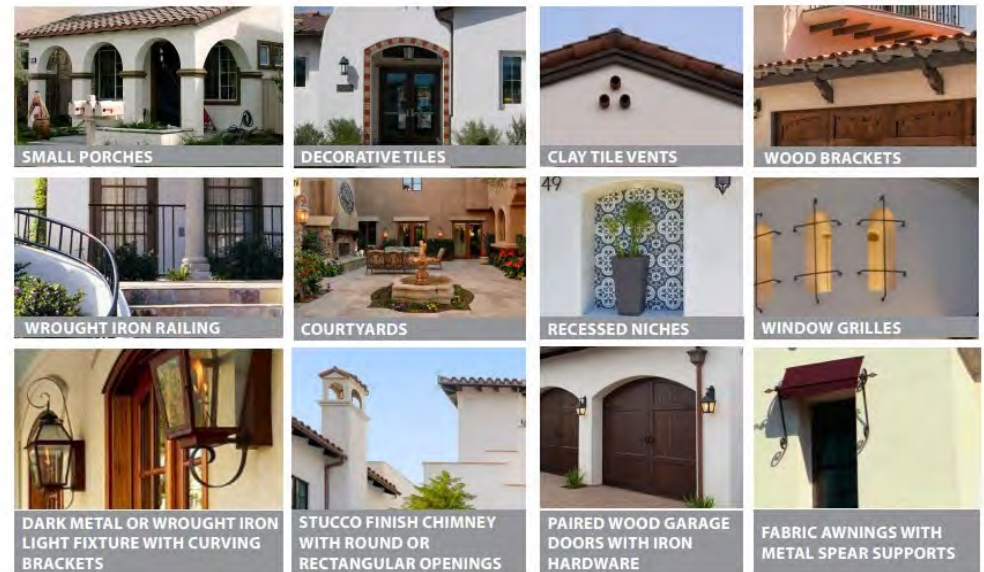
CHAPTER 4. MISSION - SPANISH COLONIAL REVIVAL

4.1 STYLE DESCRIPTION

Derived from Spanish/Mediterranean and early Californian influences, these styles emerged in the late 19th and early 20th centuries. Projects a visually rich environment with allusions to regional history. Generally, Spanish Colonial Revival style buildings are asymmetrically arranged. The style features low-pitched roofs with little or no overhang covered with S Type Clay red roofing tiles. These houses were almost always wood frame with stucco siding. The use of the arch was common, especially above doors, porch entries and main windows.



E. DECORATIVE ACCENTS & DETAILS (CHOOSE 6 OR MORE)



San Jose Citywide Design Standards

3.3.3 Decks and Balconies

ANALYZE CONTEXT, PROVIDE QUALITY DESIGN, AND DESIGN FOR SUSTAINABILITY

Create active façades using decks and balconies that add detail and visual interest to buildings.

Rationale

Decks and balconies provide private open spaces and areas of relief in residential and mixed-use buildings.

They are important elements of façade design, giving buildings a residential character and providing articulation and detailing on building façades.

Standards

- S1. When private decks and balconies project out of a building façade, they must extend less than 10 feet from building façades. When they extend into public rights-of-way the projection must be less than four feet outside the property line in accordance with the California Building Code.
- S2. Occupied decks and balconies must be at least six feet wide and four feet deep to encourage outdoor seating (see Fig. 3.36).
- S3. Façade elements and unoccupied spaces such as Juliet balconies must be a minimum of three feet wide and 12 inches deep to provide relief or articulation in the façade (see Fig. 3.36).
- S4. When decks and balconies project into public rights-of-way, maintain a minimum vertical clearance above the public realm based on the location of the development and ground floor use:
 - 24 feet for developments that have residential common areas, commercial, or mixed uses at the ground floor.
 - 20 feet for developments with residential units at the ground floor.
- S5. When balconies are provided in a project, at least 25 percent of residential units facing secondary streets and public open spaces must have balconies.
- S6. Do not locate permanent storage boxes, condensers for air-conditioning units, or other mechanical equipment on decks and balconies.

Guidelines

- G1. Include decks and balconies to provide private open spaces and add visual



Fig. 3.34 Balconies projecting from the building mass.



Fig. 3.35 Recessed balconies carved out of the building mass.

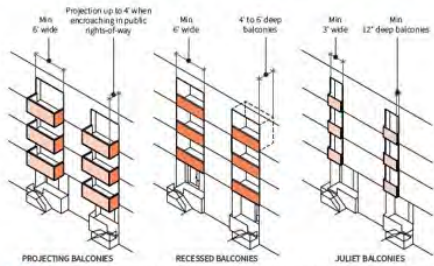


Fig. 3.36 Create a rhythm of balconies and decks for interesting façade articulation and private open spaces for tenants.

Interest to residential and commercial buildings (see Fig. 3.34 and 3.35).

- G2. Design parapets and railings for decks and balconies using materials similar to or consistent with the overall design and materials used in the development.
- G3. Create a rhythm or constant repetition of balconies and decks to articulate building façades (see Fig. 3.36).

Related Subsections

3.1.2 Form, Proportion, and Scale
3.3.1 Façade Design and Articulation
4.2.2 Common and Private Open Space Design

General Plan Reference

CD 2, LU-9, LU-11, VN 5

4.1.1 Commercial Frontages

IMPLEMENT ACTIVE DESIGN, DESIGN EQUITABLE PLACES, SUPPORT CONNECTIVITY, AND STRENGTHEN COMMUNITY CHARACTER

Support interesting and safe public spaces with active commercial frontages.

Rationale

Ground floors with active frontages create engaging streets that are comfortable to use and visually appealing for pedestrians.

Applicability

The standards and guidelines in this Subsection apply to all ground floor commercial frontages.

Standards

- S1. Provide a finished ground floor level for all commercial active frontages within three vertical feet of sidewalk (see Fig. 4.3).
- S2. Create transparent façades with windows or clear glazing for at least 70 percent of the active frontage length along primary streets or public open spaces and 50 percent of the active frontage length along secondary streets (see Fig. 4.3 and 4.5).
- S3. Provide a transparent façade at building corners such that it extends at least 20 feet from the corner in both directions. If a corner façade is fronting a primary street or public open space on one side and a secondary street on the other, refer to S2 for transparent building façade length requirements for each façade (see Fig. 4.3 and 4.5).
- S4. Windows and clear glazing on the ground floor façade must have no opaque or semi-opaque building elements wider than two inches or spaced more closely than five feet between 3 to 10 vertical feet from the sidewalk (see Fig. 4.3 and 4.5).
- S5. All ground floor commercial tenant spaces must be at least 45 feet deep for a minimum of 50 percent of primary street building façades, and at least 25 feet deep for a minimum of 50 percent of secondary street façades.
- S6. Provide a minimum of 14-foot floor-to-ceiling height for ground floor commercial building frontages. This minimum height requirement does not apply to garage or utility areas which are separate and distinct from ground floor commercial spaces (see Fig. 4.5).



Fig. 4.1 Provide active commercial uses that are physically accessible to pedestrians from streets, sidewalks, or plazas.



Fig. 4.2 Outdoor furniture and seating in frontage zones helps create a lively public realm.



Fig. 4.3 Provide clear glazing for at least 70 percent of active frontage length and have no opaque building elements between 3 to 10 vertical feet of the sidewalk.

4.1.2 Residential Frontages

IMPLEMENT ACTIVE DESIGN, DESIGN EQUITABLE PLACES, SUPPORT CONNECTIVITY, DESIGN FOR SUSTAINABILITY, AND STRENGTHEN COMMUNITY CHARACTER

Design ground floor residential frontages to directly connect with the public realm, create eyes-on-the-street, and add visual interest to public spaces while still maintaining tenant privacy.

Rationale

A transparent ground floor façade in residential developments allows internal uses to engage with the public realm and create a safe environment for pedestrians.

Placing shared spaces and amenities such as fitness centers, common spaces, and management offices along primary street frontages helps create connections between the building and the streets. Sidewalk-accessible entry stoops for ground floor residential units support safe, active, and comfortable pedestrian environments.

Standards

- S1. Include a minimum three-foot deep frontage area at building entrances for residential and mixed-use developments. This transition space is useful for any doors opening out to the sidewalk and for providing stoops for raised residential units (see Fig. 4.7 and 4.8).
- S2. The finished floor level of ground floor residential units must be within four vertical feet of the closest sidewalk. For sloping sites, developments are allowed to have up to 25 percent of unit entrances and up to 1/4th of the ground floor level above four vertical feet for but not more than six vertical feet higher than the closest sidewalk along that property line (see Fig. 4.7).
- S3. For all residential active frontages, provide at least six-foot tall transparent windows or clear glazing that cover a minimum of 60 percent of the active frontage along primary streets and 40 percent along secondary streets (see Fig. 4.5).
- S4. Partially sub-grade podium garages along streets and pedestrian walkways must:
 - Not extend more than four feet above grade.
 - Not have blank walls.
 - Screen mechanical equipment and air exhaust windows from view.
 - Have openings and articulations that are consistent with the rest of the building façade.

Guidelines

- G1. Support pedestrian safety by locating residential stoops and community spaces such as gyms, management offices, and indoor recreation areas, along street and public open space frontages to enliven street life and create eyes-on-the-street (see Fig. 4.3, 4.10, and 4.11).

Related Subsections

2.3.2 Active Frontages
3.2.1 Pedestrian and Bicycle Errand Design

General Plan Reference

CD-1, H-3, LU-11



Fig. 4.4 Provide transparent glazing for residential active frontages along primary and secondary streets.



Fig. 4.7 Provide residential entrances up to 4' from the sidewalk and provide a minimum 3' deep frontage area at all building entrances.

The background of the slide is a dark blue, semi-transparent aerial map of San Diego. The map shows the city's layout, including major roads, parks, and the coastline. The text "Discussion and Questions" is overlaid on this map in a large, white, sans-serif font.

Discussion and Questions

Discussion and Questions

- What building typologies are most important to address through objective design standards?
- Is it important to regulate architectural styles and features in your community?
- What other topics are most important in your community?
- Other questions or comments?

What's Next?

- Local Staffing Assistance & Legislation Tracking (Ongoing)
- Regional Trainings
 - 11/30 - Legislative Webinar
 - Late 2023 - Housing Rehabilitation Programs Forum
 - Early 2024 – Prohousing Forum
 - Early 2024 – APR Office Hours
- Templates and Toolkits (Forthcoming)
 - ODS FAQ, Library, and Toolkit
 - Group Homes Advisory/Best Practices

Connect with SANDAG's HAP-TA Team

Project website:

sandag.org/projects-and-programs/regional-initiatives/housing-and-land-use/housing-acceleration-program

Local Staffing Assistance Requests

Email: SANDAG_HAPTA@AscentEnvironmental.com

Contact SANDAG

Email: carrie.simmons@sandag.org

Phone: (619) 837-6503

SANDAG



City of Carlsbad Objective Design Standards

Shelley Glennon, Associate Planner
Community Development



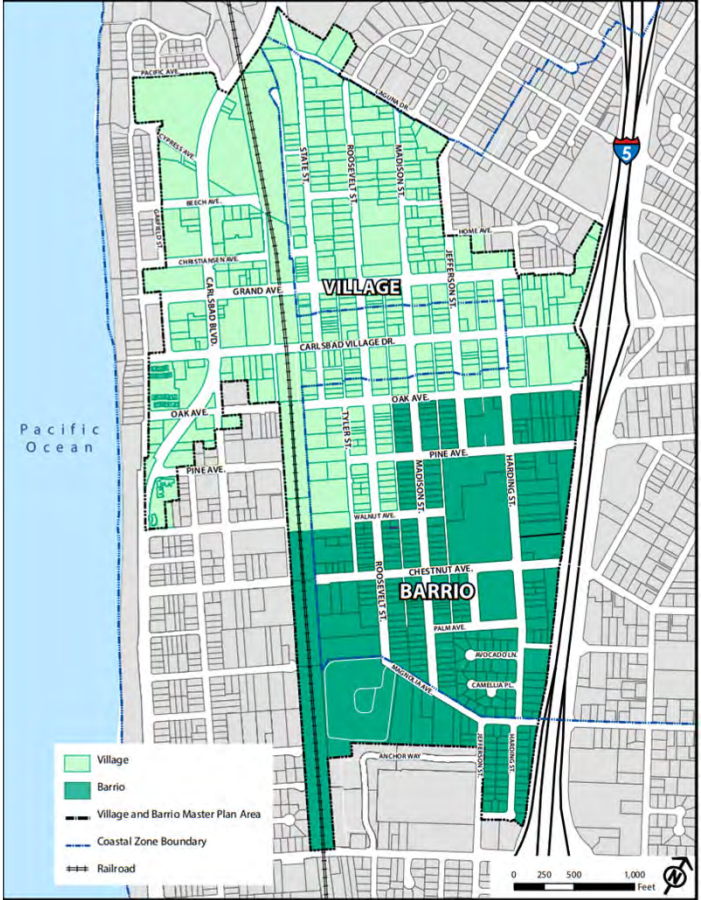
BACKGROUND - PROJECT AREA

CITYWIDE
OBJECTIVE
DESIGN
STANDARDS



Excluding
Village and
Barrio
Master
Plan area

VILLAGE AND
BARRIO
OBJECTIVE
DESIGN
STANDARDS



Pacific
Ocean

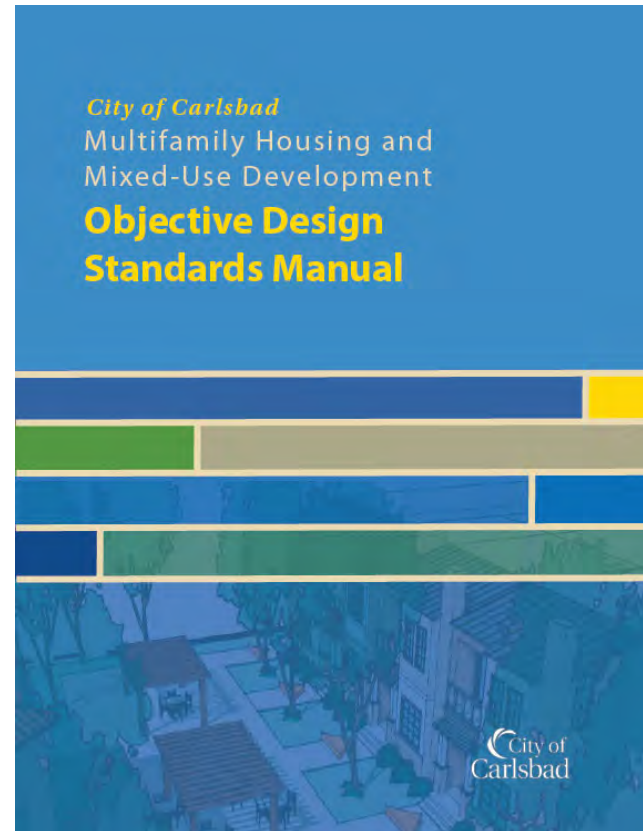
- Village
- Barrio
- Village and Barrio Master Plan Area
- Coastal Zone Boundary
- Railroad

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Feet

Objective Design Standards Manual

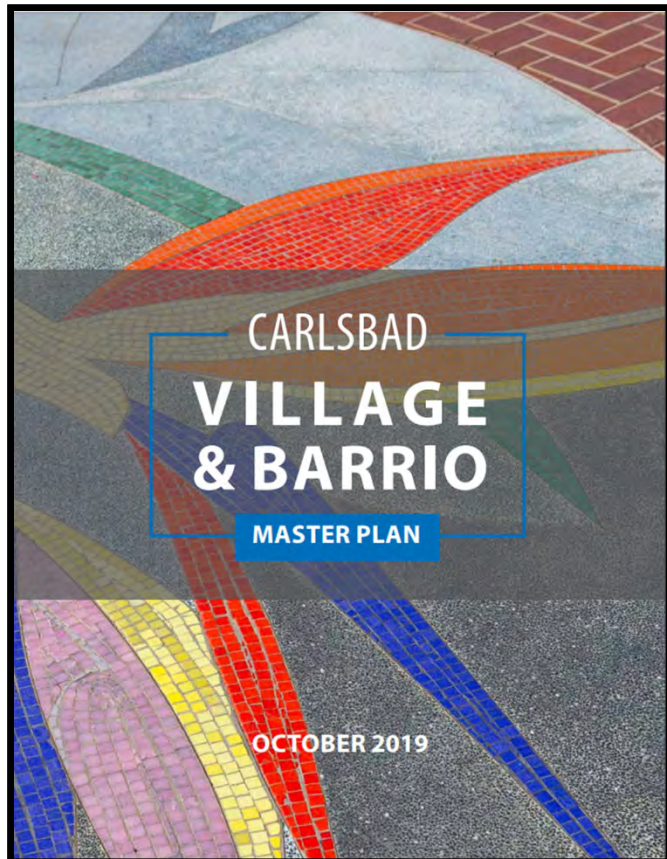
Contents:

- Introduction
- Site Design Standards
- Building Design Standards
- Additional Mixed-Use Standards
- Utilitarian Design Standards
- Definitions



Village and Barrio Master Plan

Appendix E Objective Design Standards



APPENDIX E
OBJECTIVE DESIGN STANDARDS

MASTER PLAN

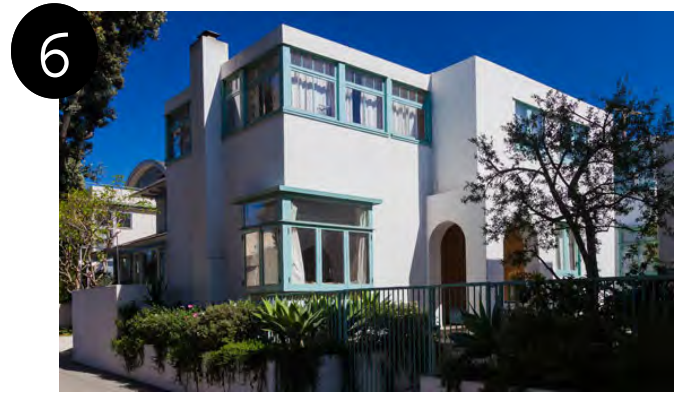
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7 Architectural Styles

- 1. Spanish Revival
- 2. Craftsman
- 3. American Mercantile
- 4. Victorian
- 5. Colonial Revival/Cape Cod
- 6. Traditional Modern
- 7. California Contemporary



City Council Policy Statement No. 44 and 66

- ✓ Amend City Council Policy Statement No. 44 “Neighborhood Architectural Design
- ✓ Rescind City Council Policy 66 “Development of Livable Neighborhoods”

*Modifications made were to remove outdated, subjective and/or conflicting standards



INPUT OPPORTUNITIES (VILLAGE & BARRIO)



In-person workshop

June 29, 2022



Online survey

June 27-July 18, 2022



Public review of
draft standards

May 18-June 19, 2023



Meeting with developers

May 31, 2023

INPUT OPPORTUNITIES (CITYWIDE)



Online webinar

June 8, 2023




Public review of
draft standards

May 18 -
June 19, 2023



Meeting with developers June 7, 2023



Design standards

Join us for a webinar to learn about citywide objective design standards for multifamily projects

Preserving Carlsbad's unique community character is one of five goals in the City Council's [5-Year Strategic Plan](#). That's why the city is working with the community to update the language of design standards for apartments, condos and mixed-use projects.

Two draft proposals are now ready for public review.

- [Citywide objective design standards](#) that would apply to all areas in Carlsbad outside of the Village and Barrio.
- A [separate set of design standards](#) and architectural styles specifically for the Village and Barrio, two of Carlsbad's oldest neighborhoods.

Webinar
Community members who would like to learn more about the citywide objective design standards are welcome to attend an informational webinar, which will be held via Zoom on Thursday, June 8.

[Citywide objective design standards virtual webinar](#)
Thursday, June 8, 5 p.m.
Via Zoom
[Register online](#)

Feedback can be provided via mail or email through **June 19, 2023**, to:

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1635 Faraday Ave., Carlsbad, CA 92008
planning@carlsbadca.gov
442-339-2605



City of Carlsbad
Published by Loomly · May 24 at 5:27 PM

We've completed the changes needed to make the city's design standards for multifamily and mixed use projects "objective." This is required if we want to be able to maintain our community character when these projects are built under new state housing laws. The standards for height, setbacks and other details have not changed, just the language to ensure they're considered objective.

Standards for just the Village and Barrio areas were developed with a Citizens Design Review Committee, which will review the draft at a public meeting 5/25 at 4 pm.


If you'd like to provide input on the Village and Barrio standards, you can attend the meeting to provide comments. Or, you can send comments on citywide standards or just the Village and Barrio ones by email to planning@carlsbadca.gov or mail through 6/19. Details in the link.

Learn more: <https://loom.ly/E7PScSs>




City of Carlsbad @carlsbadcagov · Jun 6

Proposed "objective" design standards for future multifamily housing are ready for public review. Join us Thurs, 6/8 from 5-6 pm for an informational webinar to learn about proposed citywide objective design standards. Register: loom.ly/h9IYEUS #Carlsbad #GetInvolved

Draft design standards ready
Proposed design standards for multifamily housing will help maintain community character.
05/19/2023 5:30 PM

The projects were promoted during the public outreach process through E-newsletters, social media, Nextdoor App and the city's website

DESIGN REVIEW COMMITTEE (VILLAGE/BARRIO)

- Design Review Committee Charter Adopted
- City Council appointed 9 members:
 - 2 Village residents
 - 2 Barrio Residents
 - 1 Business Owner
 - 2 Professionals and
 - 2 Commissioners
- Four public meetings held
- Assisted in public outreach
- Reviewed and commented on draft documents and community input

DESIGN REVIEW COMMITTEE (VILLAGE/BARRIO)

On May 25th, the DRC recommended approval of the draft Village and Barrio Objective Design Standards project (4-3-2)

PLANNING COMMISSION (VILLAGE/BARRIO & CITYWIDE)

On July 19th, 2023, the Planning Commission recommended approval of the Village and Barrio & Citywide Objective Design Standards(7-0-0).

CONCLUSION

Objective Design Standards will:

- Help strengthen local design regulations
- Ensures compatibility with existing community character
- Reduce project costs/long timelines
- Encourage residential construction for affordable and market-rate units



Figure 1: Enhanced paving treatments shall be provided for entry driveways (2.B.3.c)

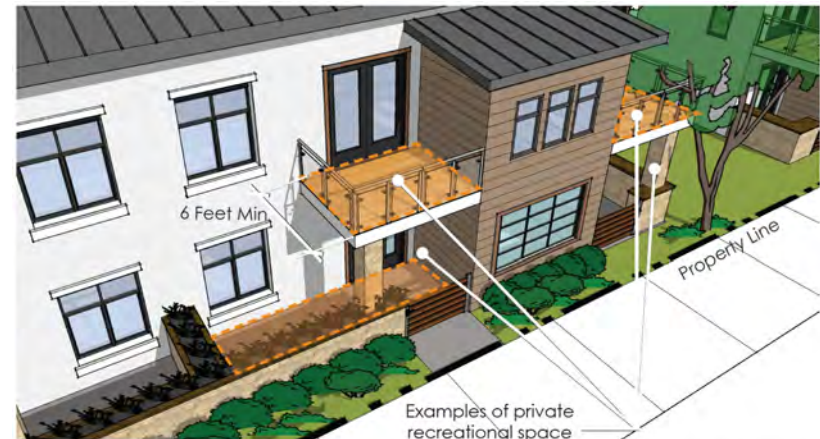


Figure 2: Private recreational space shall be provided for each residential unit and may include balconies and decks for upper stories (2.E.3)

CITY COUNCIL ACTIONS

Citywide Objective Design Standards

- ✓ Adopted by ordinance an amendment to Zoning Ordinance (Title 21) to approve the Citywide Objective Design Standards project
- ✓ Adopted by resolution a Local Coastal Program amendment
- ✓ Adopted a resolution approving amendments to City Council Policy Statement No. 44.
- ✓ Adopted a resolution rescinding City Council Policy Statement No. 66.

CITY COUNCIL ACTIONS

Village and Barrio Objective Design Standards

- ✓ Adopted by ordinance an amendment to the Master Plan; and
- ✓ Adopted by resolution approving a Local Coastal Program Amendment

Questions?